

**Plots 9 & 11, Mountrich Place
Dingwall
IV15 9RH**



Two South facing plots situated on an elevated site with views over the Cromarty Firth. The plots are available for development as a whole, or alternatively offers will be considered for the individual plots.

OFFERS OVER £165,000

HSPC Reference: 55507

The Property Shop, 47 Church Street, Inverness
Telephone: 01463 225 533 **Fax:** 01463 225 165
Email: property@munronoble.com



PROPERTY

Plot 9 - Extends to 1620 sqm (0.40 acres) or thereby and has detailed planning permission for the erection of one house with an integral garage. Copies of the house plans are available to download.

Plot 11 - Extends to 1955 sqm (0.48 acres) or thereby and has planning permission in principle for the erection of one house.

LOCATION

Dingwall is a busy town with local shops, national supermarkets, banks, post office, leisure centre and restaurants. Primary school children attend Dingwall Primary school with older children going to Dingwall Academy. Good transport links are available to the City of Inverness which is approximately 15 miles from Dingwall. The Highland capital of Inverness provides all the additional facilities of an expanding city, including modern shopping centres, excellent recreational facilities and a wide selection of hotels and restaurants along with road, rail and air links to the South. Dalcross airport is approximately 7.5 miles from the centre of Inverness.

SERVICES

Mains services are connected to Plot 9. Mains water and a tap are available on Plot 9.

PLANNING PERMISSION

The Plots have Planning Reference Numbers 14/03978/FUL and 17/00931/PIP. Further details are available from the Highland Council Planning website or by request.

OFFERS

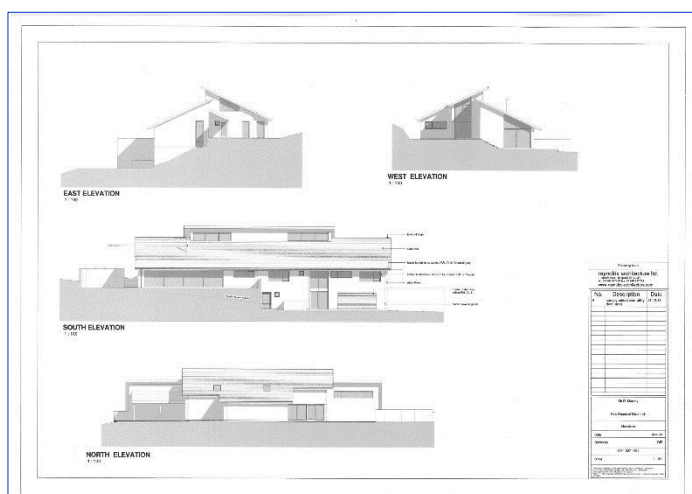
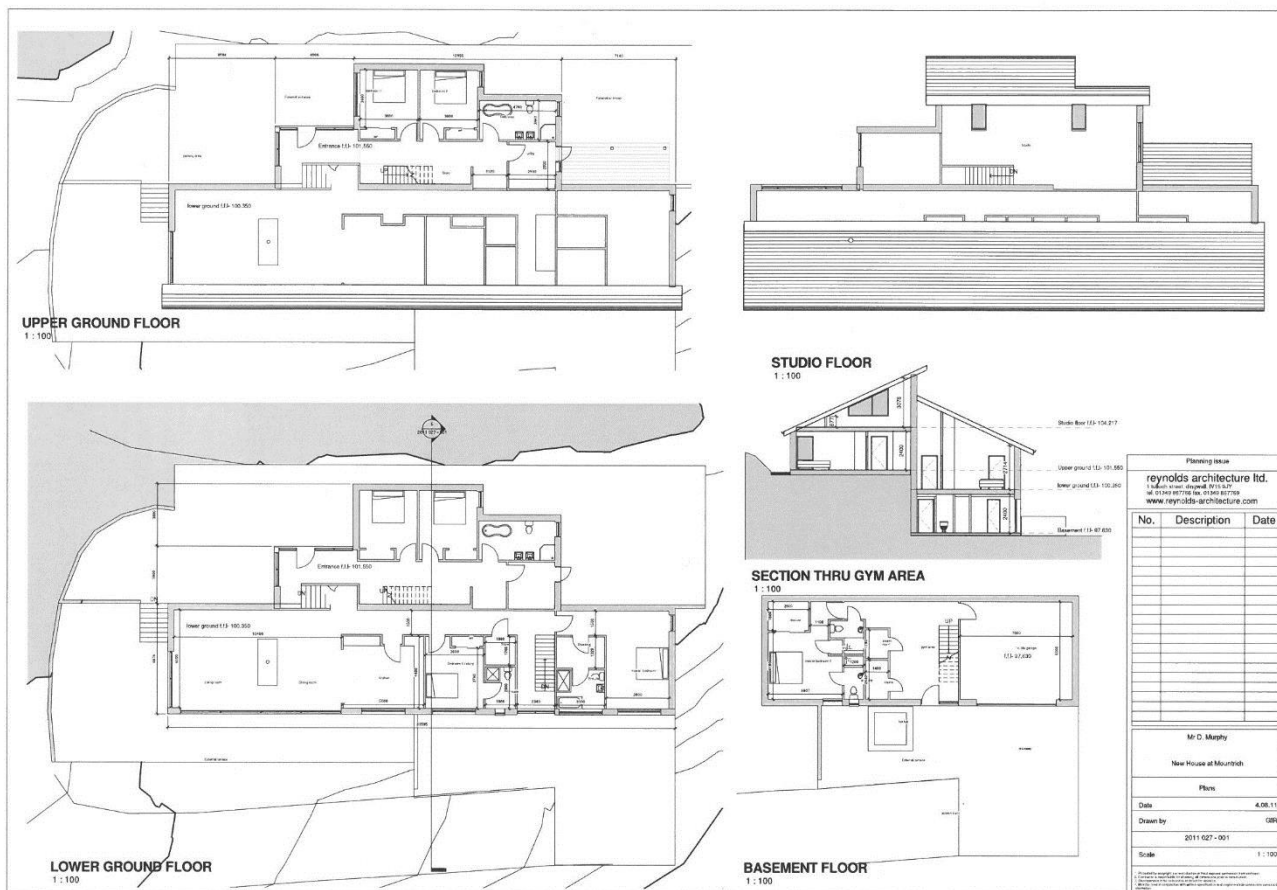
Offers over £165,000 for both plots are invited. Offers over £98,000 for Plot 9 and £72,000 for Plot 11 will be considered for the individual plots.

VIEWINGS

Interested parties are encouraged to view the plots at their own leisure without an appointment.

ENTRY

By mutual agreement.



DETAILS: Further details from Munro & Noble Property Shop, 47 Church Street, Inverness IV1 1DR. Telephone 01463 225533.

OFFERS: All offers to be submitted to Munro & Noble Property Shop, 47 Church Street, Inverness IV1 1DR.

INTERESTED PARTIES: Interested parties are advised to note their interest with Munro & Noble Property Shop as a closing date may be set for receipt of offers in which event every endeavour will be made to notify all parties who have noted their interest. The seller reserves the right to accept any offer made privately prior to such a closing date and, further, the seller is not bound to accept the highest or any other offer.

GENERAL: The mention of any appliances and/or services does not imply that they are in efficient and full working order. A sonic tape measure has been used to measure this property and therefore the dimensions given are for general guidance only.

Munro & Noble

These particulars are believed to be correct but are not guaranteed. They do not form part of a contract and a purchaser will not be entitled to resile on the grounds of an alleged mis-statement herein or in any advertisement.